

# Anderson County Planning Commission

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David Cothran, Chair, District #5  
Ed Dutton, District #1  
Brad Burdette, District #3  
Debbie Chapman, District #7

Jane Jones, Vice-Chair, District #6  
Lonnie Murray, District #2  
Jerry Vickery, District #4

April 25, 2017  
Special Called Meeting  
6:00 PM

## AGENDA

1. Call to Order
2. Public Hearing
  - A. Weems Creek Cattle Company
3. Adjournment

The Planning Commission meets on the second Tuesday of each month, unless otherwise noted. Meetings are held at 6:00 PM in the County Council Chambers, 2<sup>nd</sup> floor of the old courthouse, located at 101 South Main Street, Anderson.

Anderson County Planning Commission-Special Called Meeting  
April 25, 2017  
6:00 PM

Staff Report – Supplemental Development Standards for Certain Uses  
(Section 38.179 of the Land Use Ordinance)

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**Preliminary Project Name:** Weems Creek Cattle Company

**Property Owner of Record:** Gary Alexander

**Authorized Representative:** Gary Alexander

**Intended Development:** Poultry Farm

**Location:** Hughes Road

**Details of Development:** This application involves the location of a poultry raising operation featuring 6 buildings with 31,000 birds per house. The facility will accommodate approximately 1,023,000 birds per year. South Carolina DHEC has approved a construction permit for this activity. A copy of the permit is attached.

**Surrounding Land Use:** North – Un-zoned Residential/Agricultural  
South – Un-zoned Residential/Agricultural  
East – Un-zoned Residential/Agricultural  
West – Un-zoned Public Service Authority Use

**Total Site Area:** 891 Acres

**County Council District:** Three

**School District:** Three

**Zoning:** Not Zoned

**Tax Map Number:** 77-00-01-001

**Extension of Existing Dev:** No

**Existing Access Roads:** Hughes Road

**Sewer Supplier:** Starr/Iva  
**Power Supplier:** Little River  
**Variance:** None requested

**Traffic Impact Analysis:**

Hughes Road is a collector road with no maximum AVT (Average Vehicle Trips per day) Access will be limited to Hughes Road small group of employees and the occasional transfer truck coming on site for loading and delivery.

**Staff Recommendation:**

Staff recommends APPROVAL of the overall development plan for this project, with the following conditions:

- Applicant has received approval from all necessary agencies for Anderson County Storm water, SCDHEC NPDES Coverage, Road encroachment/SCDOT, State of South Carolina Agricultural Permit from Bureau of Ag and Water.
- Grading Permit must be issued by Development Standards prior to land disturbance activity.
- Developer must not disturb or erect any buildings within the 100 year floodplain without the proper floodplain development permit. Floodplain show at the rear of the property.
- Development will meet all land use and engineering standards without variances
- The preliminary plan indicates that the poultry houses will be located over 400' from the property line. All setbacks must be adhered to.
- The Division 6 Performance Standards contained in Section 38-196 of the Land Use Ordinance must be met. This section covers noise, pollution, glare, and lighting.
- Bufferyard and landscaping requirements must be delineated on the complete development site plan and implemented. All bufferyards must be installed prior to the issuance of a Certificate of Occupancy.



# Land Use Permit Application

3/17/2017  
Date of Application Completion

\_\_\_\_\_  
Permit Status (Approved or Denied)

### Owner's Information

Name: Gary Alexander  
Business Name (if applicable): Weems Creek Cattle Co.  
Mailing Address: P.O. Box 452 Starr, SC 29684  
Telephone and Fax: 864-483-4669 E-Mail: gary@alexanderfarms.com

### Authorized Representative's Information

Name: Gary Alexander  
Company Name: Georgia Foulty  
Mailing Address: P.O. Box 452 Starr, SC 29684  
Telephone and Fax: 864-483-4669 E-Mail: gary@alexanderfarms.com

### Project Information

Property Location: 125 Hughes Road  
Parcel Number(s)/TMS: 77-00-01-001  
County Council District: 3 School District: 3  
Total Acreage: 11.4 Impres Current Zoning: NONE  
Proposed Land Use: AG Current Land Use: AG  
Water Supplier: Starr wa Sewer Supplier: None Power Supplier: Little River  
Private Covenants or Deed Restrictions on the Property: Yes \_\_\_\_\_ No

If you indicated no, your signature is required.

[Signature]  
Applicant's Signature

3/17/2017  
Date

If you indicated yes, please provide a copy of your covenants and deed restrictions with this application - pursuant to State Law (Section 6-29-1145: July 1, 2007) - determining existence of restrictive covenants. Copies may be obtained at the Register of Deeds Office.



# Construction Plans (C-SWPPP)

For

## Weems Creek Cattle Company Poultry House

In Anderson County, SC

Prepared For

### Weems Creek Cattle Company

539A Smith Dairy Road, Westminster, South Carolina 29693

Telephone: (864) 972-0010

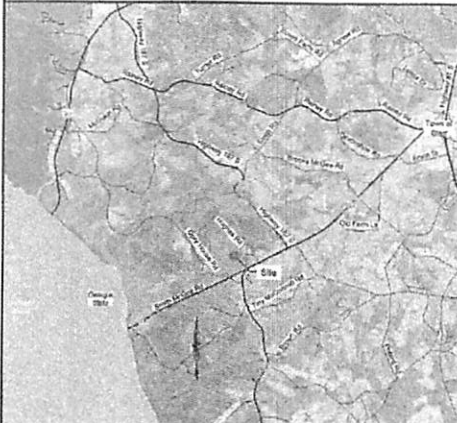
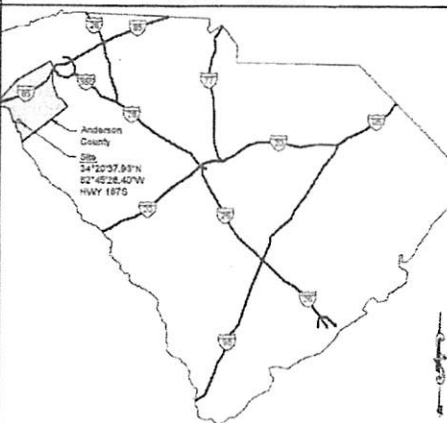
Email: gary@alexanderfarms.com

by:

## Chao & Associates, Inc.

### Consulting Engineers

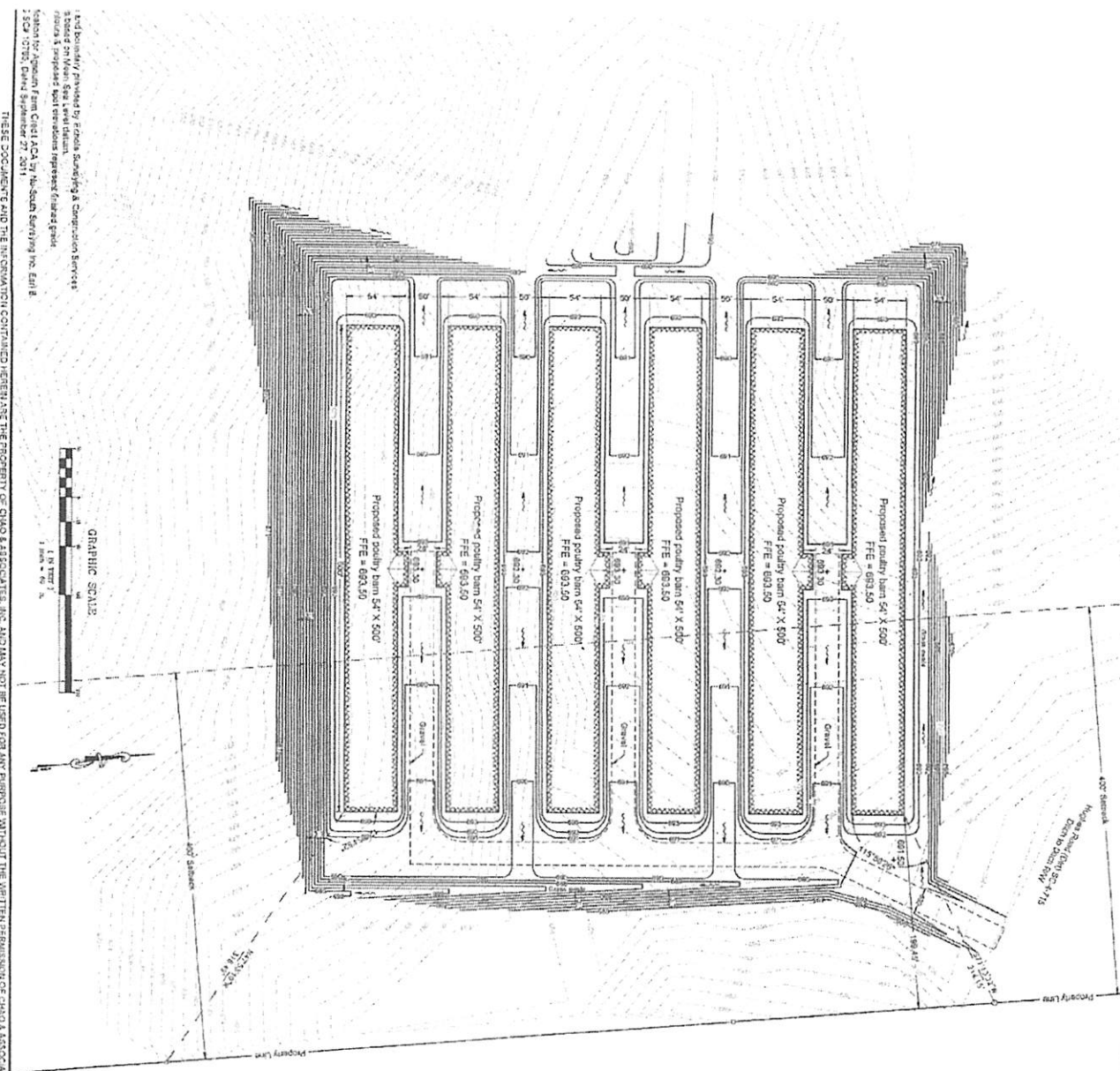
C & A #: 390924-16

Drawing Index	Location Map	
<ul style="list-style-type: none"> <li>C1.0 - Existing Condition &amp; Demolition Plan</li> <li>C2.0 - Site Layout, Grading &amp; Drainage Plan</li> <li>C3.0 - Sediment &amp; Erosion Control Plan - Phase 1 (Initial Land Disturbance)</li> <li>C3.1 - Sediment &amp; Erosion Control Plan - Phase 2 (Construction)</li> <li>C3.2 - Sediment &amp; Erosion Control Plan - Phase 3 (Stabilization)</li> <li>C4.0 - Construction Details</li> <li>C4.1 - Construction Details</li> <li>C4.2 - Construction Details</li> </ul>	<p style="font-size: small;">County of Anderson Scale: 1" = 5000'</p> 	<p style="font-size: small;">State of South Carolina Scale: 1" = 30 Miles</p> 



Chao & Associates, Inc.  
 1 - Survey  
 Court  
 : 29210  
 72-8420  
 2-9120  
 haoinc.com





**CONSTRUCTION NOTES:**



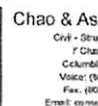
1. Contractor is cautioned that the location and/or elevation of existing utilities shown on this plan may not be true. The utility company must be contacted for exact location and depth prior to beginning work.
2. Contractor is required to contact Florida Utility Protection Services (811) to locate all existing utilities prior to beginning work.
3. Provide all fence and chain link around perimeter as required by local ordinance. Provide all erosion control devices as may be required by local ordinance during construction. An erodible area shall be obtained, graded and stabilized with grassing prior to any construction.
4. Contractor shall verify any drainage caused by any existing site features to remain existing, but not to be, building, pavement, curb and gutter, storm drains, etc., in their entirety. Requests shall be in writing to the County Engineer.
5. Grading shall be provided to all areas indicated by construction that are not shown on this plan. Grading shall be provided to all areas indicated by construction that are not shown on this plan. Grading shall be provided to all areas indicated by construction that are not shown on this plan.
6. Grading shall be provided to all areas indicated by construction that are not shown on this plan. Grading shall be provided to all areas indicated by construction that are not shown on this plan.
7. Temporary permits may be required for any work subject to 215.04. Temporary permits may be required for any work subject to 215.04.
8. All erosion control devices shall be properly maintained during all phases of construction. Erosion control devices shall be properly maintained during all phases of construction. Erosion control devices shall be properly maintained during all phases of construction.
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11. All construction taking shall be provided at the contractor's expense.

**Flood Certification**  
 I have read and approved the National Flood Insurance Program, "Flood Insurance Rate Map," map number 48007C002E, dated 10/27/03, effective date 10/27/03, and I have determined that the above site lies within an unshaded zone "X".

**Contractor's Signature:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Owner's Signature:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

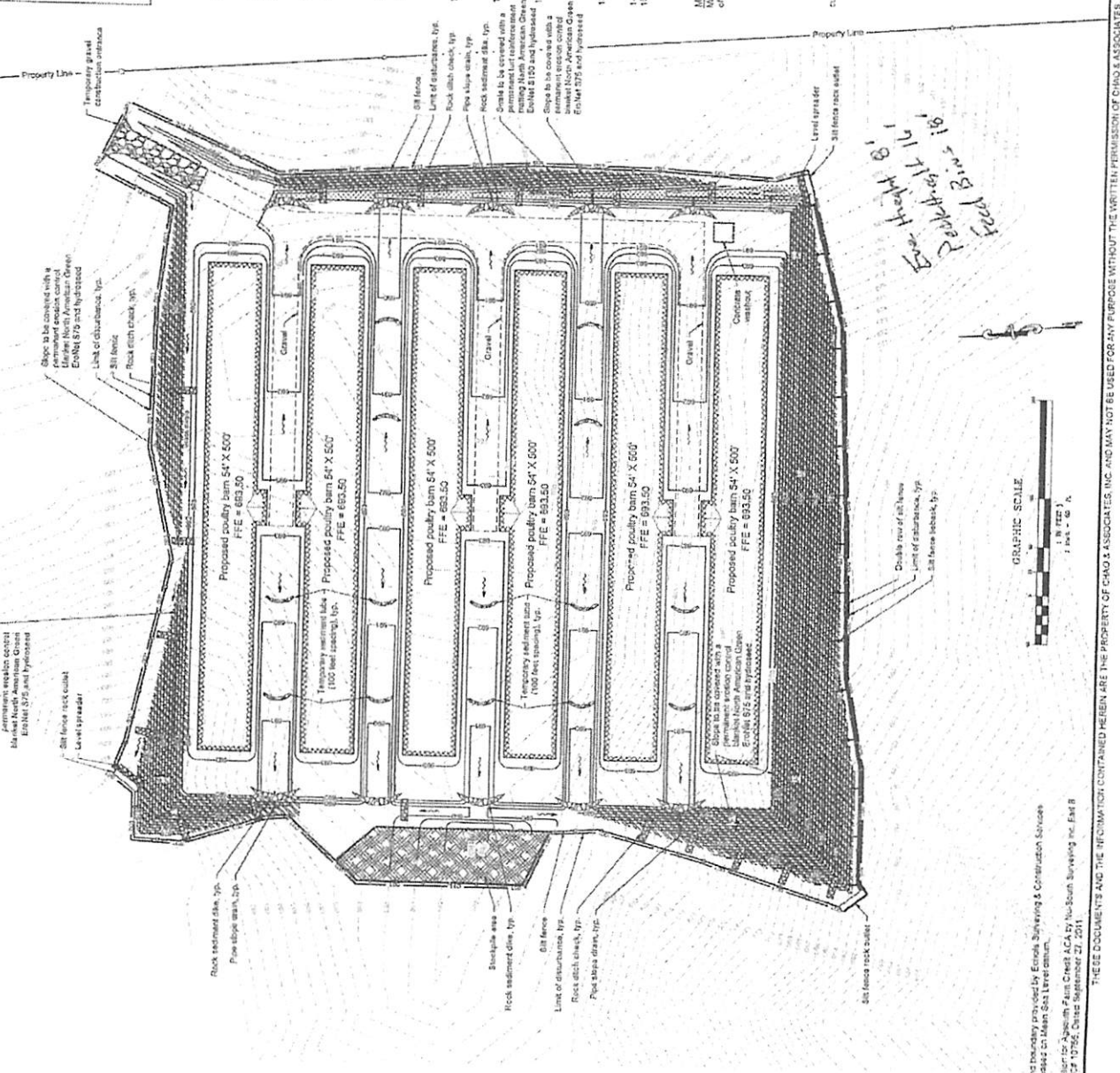
**Professional Engineer's Signature:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

<p><b>Drawn:</b> HMC  <b>Checked:</b> GAI  <b>Revised:</b> 01/23/2017 Revised per Anderson County's comments  <b>File:</b> 390334C-R1.dwg  <b>Project No.:</b> 390924-18</p>	<p><b>Site Layout, Grading &amp; Drainage Plan</b></p> <p>Prepared for:  <b>Weems Creek Cattle Company</b>  <b>Hughes Rd, Iva, SC 29655</b></p>	<p><b>Chao &amp; Associates, Inc.</b>        Civil - Structural - Survey        7 Chatham Court        Columbia, SC 29210        Phone: (803) 772-9420        Fax: (803) 772-9420        Email: cma@mail@chaoenc.com</p>	  
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- Construction Sequence (Phase 3)**
1. Complete all remaining foundation.
  2. Complete low grading.
  3. Perform site-bulk surveys for all new improvements and submit to the engineer for acceptance.
  4. Perform site stabilization and erosion control mowing (TMM) and erosion control blanket (ECB) for channels and slope.
  5. Perform site stabilization and erosion control measures including but not limited to: mulch, straw, straw wattles, etc. in areas where stabilization is indicated.
  6. Submit notice of termination (NOT) to SCDHEC and Anderson County.
  7. Vertical construction of buildings to continue during the remaining construction activities.

- Grading Note:**
1. During new grading operations and prior to construction of permanent structures, Silt fences shall be provided to prevent polluted water and drainage to adjacent properties.
  2. Do not place cuts or fills close to property, including adjoining property boundaries, unless properly protected with positive against erosion.
  3. Do not place fill material where a cut area or other erosion control measure is required.
  4. No addition of fill material where a cut area or other erosion control measure is required.
  5. Temporary drainage courses and storm drain facilities shall continue to be used to protect adjoining properties during any drainage provisions must be maintained.
  6. No fill shall be allowed on existing ground until the ground has been allowed to settle, support and other deleterious material.
  7. All erosion control devices shall be inspected every seven (7) days and after erosion control devices shall be inspected every seven (7) days and after erosion control devices shall be inspected every seven (7) days and after erosion control devices shall be inspected every seven (7) days.
  8. Damaged or ineffective erosion control devices shall be replaced, as necessary.
  9. Erosion control devices shall be inspected every seven (7) days and after erosion control devices shall be inspected every seven (7) days and after erosion control devices shall be inspected every seven (7) days.
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- Mass Grading Statement:**
- Mass grading shall be within the limit of disturbance and meet the requirements of Anderson County and SCDHEC.
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THESE DOCUMENTS AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF CHAO & ASSOCIATES, INC. AND MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF CHAO & ASSOCIATES, INC.

Information provided by Emerald Shoring & Construction Services and Co. Main One Levelation.

Plan for Agreement with Airm Chest A.C.A. by Yu-Sun, Surveying, Inc. East 8 24 10152, Dates September 27, 2011



Permission is hereby granted to:

Gary Alexander  
 Weems Creek Cattle Company  
 539-A SMITH DAIRY ROAD  
 WESTMINSTER, SC 29693

for the construction and operation of a **NO-DISCHARGE** agricultural manure and animal by-products treatment and storage system in accordance with the construction plans, specifications, engineering report, Comprehensive Nutrient Management Plan and Construction Permit Application prepared by Gerald A. Lee, PE, Chao & Associates, Inc..

COUNTY: Anderson

**Project Description:**

1. Construction of six (6) new broiler houses.
2. Housed broilers raised on a compacted clay pad - covered with wood shavings.
3. Contract disposal of the manure with a permitted manure broker per plans and specifications.
4. Other conditions as stated in animal facility management plan.
5. Treat a total of 1,135 tons of manure generated as follows:
  - 6 houses X 31,000 birds per house X 5.5 flocks/year = 1,023,000 birds per year
  - 186,000 broilers X 3.45 Lbs. Ave. Live Wt. = 641,700 Lbs. normal production live weight
  - 186,000 broilers X 6.1 tons/year/1000 bird spaces = 1,135 tons/year waste production

**Special Conditions:** (See attachments).

**Permit Number:** 19,875-AG

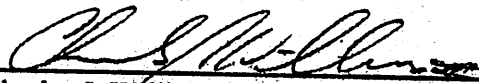
**Date of Issue:** November 15, 2016

**Effective Date:** November 30, 2016

**Expiration Dates:** Unless construction begins prior to November 28, 2018, and is completed prior to November 27, 2019 this permit will expire. In accepting this permit, the owner agrees to the admission of properly authorized persons at all reasonable hours for the purpose of sampling and inspection.

**Treatment Plant Classification:** Group 0

**WRITTEN AUTHORIZATION TO PLACE THIS SYSTEM INTO OPERATION MUST BE OBTAINED FROM THE DEPARTMENT PRIOR TO PLACING ANIMALS IN THE FACILITY.**

  
 Charles J. Williams, Manager  
 Groundwater Protection & Ag Permitting  
 Bureau of Water

RJD/BWM/el  
 cc: Nichole Veasey, Upstate BEHS Anderson EA office  
 Gerald A. Lee, PE, Chao & Associates, Inc, Columbia, SC



BUREAU OF WATER  
Agricultural Permit  
ND0089389

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Charles J. Williams, Manager  
Groundwater Protection & Ag Permitting  
Bureau of Water

RJD/BWM/el

cc: Nichole Veasey, Upstate BEHS Anderson EA office  
Gerald A. Lee, PE, Chao & Associates, Inc, Columbia, SC



Catherine E. Heigel, Director

*Promoting and protecting the health of the public and the environment*

March 28, 2017

GARY ALEXANDER  
WEEMS CREEK CATTLE CO  
2416 SMITH MCGEE RD  
STARR SC 29684

RE: WEEMS CREEK CATTLE COMPANY POULTRY HOUSE, Anderson County  
File number: 04-17-03-04  
NPDES Coverage Number: SCR10BI81

Dear Gary Alexander:

The Department of Health and Environmental Control (Department or DHEC) has received approval of and the Notice of Intent for the above-referenced project from **ANDERSON COUNTY STORMWATER DEPARTMENT**. Based on your submission of this documentation and in accordance with the NPDES General Permit for Stormwater Discharges from Construction Activities SCR100000 (CGP), this project has been granted coverage under the CGP on **March 28, 2017**. This project's general permit coverage number is **SCR10BI81**. The total disturbed area for this site is **11.4 acres**.

Because this project disturbs 10 or more acres, a pre-construction meeting must be held onsite with all co-permittees and contractors who are not co-permittees (contractors) prior to that co-permittee or contractor performing construction related work intended to disturb soils at the above-referenced site. Please refer to SCR100000, mainly Section 3.2, for information about requirements for pre-construction meetings and certification of those meetings.

An as-built survey(s), signed and sealed by a S.C. Licensed Land Surveyor or Professional Engineer, should be submitted to **ANDERSON COUNTY STORMWATER DEPARTMENT** for all detention structure(s) on this site. The survey(s) should show grades, contours, and depths for all structure(s) and should include the elevations and dimensions of all outlet structures, including but not limited to pipes, orifices, risers, weirs, and emergency spillways. A statement signed by the project's S.C. Registered Engineer indicating that the structure(s) was installed and is operating as shown on approved plans and in approved calculations is required. If the elevations or dimensions of the structures listed above do not match those used in the approved plans, provide a certification statement signed by the project's S.C. Registered Engineer indicating that the structure, as built, will function as shown in approved calculations. A new analysis of the structure (routing) may be necessary. The as-built survey and/ or analysis must be accepted by **ANDERSON COUNTY STORMWATER DEPARTMENT** before a Notice of Termination (NOT) can be submitted to the Department.

The CGP can be downloaded at the following website: <http://www.scdhec.gov/Environment/docs/CGP-permit.pdf> or you may request a copy from us via email ([stormwatercgp@dhec.sc.gov](mailto:stormwatercgp@dhec.sc.gov)). You are responsible for ensuring your contractor(s) complies with the approved SWPPP and the minimum requirements of the CGP. Also, you are responsible for overall compliance with the Storm Water Management and Sediment Reduction Act of 1991 (1991 Act), SC Pollution Control Act, and the Federal

Clean Water Act (CWA). Failure to comply with the approved SWPPP or applicable statutes and regulations may result in enforcement actions.

You must notify this DHEC EQC Regional Office prior to starting any land-disturbing activity. The address and telephone number of the EQC office are as follows:

Anderson EQC Office  
220 MCGEE RD  
ANDERSON SC 29625-2147  
864-260-5569

Inspections of this site must be performed by qualified personnel as described in Section 4.2.E of the CGP.

You should be aware that this approval is only applicable for the Stormwater Pollution Prevention Plan (SWPPP) that was submitted for this project. Any additional construction or land disturbing activity beyond the scope of the approved plans is not authorized. Any future work for this project not shown on the stamped, approved plans will require that you submit another site plan for review and approval. All major modifications require review and approval by **ANDERSON COUNTY STORMWATER DEPARTMENT**. The Department must be notified in writing by **ANDERSON COUNTY STORMWATER DEPARTMENT** of the approval of major modifications if the disturbed area changes. Minor modifications to the approved SWPPP may be made by the SWPPP preparer and do not require review and approval by the Department; these changes should be signed and dated by the SWPPP preparer. If you have a question about whether a modification is major or minor, contact the Stormwater Permitting Section at (803) 898-4300.

A copy of the stamped, approved SWPPP (including a copy of the CGP, contractor certifications, inspection records, rainfall data, etc), NOI, and CGP coverage letter from DHEC must be retained and available at the construction site (or accessible within 30 minutes during normal business hours) from the date of commencement of construction activities to the date of final stabilization. If an on-site location is unavailable to store the SWPPP when no personnel are present, notice of the plan's location must be posted near the main entrance at the construction site.

All contractors who will conduct land-disturbing activities at the site must complete a Contractor Certification Form. You are also responsible for listing all contractors in the SWPPP and for holding a pre-construction conference with each contractor before they can conduct land-disturbing activity at the site.

The Department may conduct periodic inspections of your site. Any violations found during these inspections may result in enforcement action.

This NPDES coverage should be terminated by the permittee when one of the conditions listed in Section 5.1 of the CGP has been met. You must submit a Notice of Termination (NOT) to cancel your NPDES coverage under the CGP. Please see section 5.1 of the CGP for additional information required to be submitted with the NOT.

You are responsible for obtaining any other federal, state, or local permit that may be required for this project. In particular, any permits through the U.S. Army Corps of Engineers for the placement of fill material in Waters of the United States. Please note we have not sent a copy of this letter to any county or city building official. You must send a copy of this letter to these agencies, if necessary.

*If material excavated during construction activities leaves the site, a mine operating permit may be needed. You are responsible for contacting the Mining and Reclamation Section to determine if a mining permit is required for the site. The Mining and Reclamation Section can be reached at (803)896-4261 or via e-mail at [AskMines@dhec.sc.gov](mailto:AskMines@dhec.sc.gov).*

Please see the enclosed "Guide to Board Review" document for information about the procedures for appealing this NPDES coverage.

If you have any questions or cannot access the referenced websites, please call me at 803-898-4005.

Sincerely,



Isiah Glover  
Stormwater Permitting

CC: Region 1, Anderson EQC Office  
Gerald A Lee PE—CHAO & ASSOCIATES INC  
Chip Polk - ANDERSON COUNTY STORMWATER DEPARTMENT



Anderson County

# Stormwater Department

731 Michelin Boulevard Anderson, SC 29626 • (864) 716-3620 • Fax (864) 260-1002

March 15, 2017

Gerald A Lee PE  
Chao and Associates Inc  
7 Clusters Court  
Columbia, SC 29210

## INTENT TO ISSUE

RE: Weems Creek Cattle Company Poultry House  
Stormwater Management and Sediment Control /NPDES Application  
Permit No STW1216-44

Gerald A Lee PE:

After review of the above-referenced revised application it has been determined that it is in general accordance with the Anderson County stormwater design standards for land disturbing activities.

A copy of the NOI application form along with this document has been electronically sent to SCDHEC for NPDES coverage. It is our understanding that you will make arrangement directly with DHEC concerning the fee.

We are requesting an immediate three (3) complete sets of revised plans for distribution at the pre-construction conference.

The NPDES permit from DHEC and the Grading Permit issued by Anderson County Development Standards must be obtained prior to scheduling a pre-construction conference. This document should allow you to apply to Development Standards for the Grading Permit. The permit approval for land disturbing activity and the Grading permit will be delivered at the pre-construction conference. Land disturbing activity cannot begin prior to the pre-construction conference. **This document does not constitute Stormwater Permit coverage by Anderson County.**

Sincerely,

Chip Polk, Anderson County Stormwater  
CSW Plan Review and Permitting

CC: Jon Batson, Stormwater Manager  
Alesia Hunter, Development Standards Manager

Tommy Dunn  
Chairman  
District 5

Ray Graham  
Vice-Chairman  
District 3

Craig Wooten  
District 1

Gracie Floyd  
District 2

Thomas F. Allen  
District 4

Ken Waters  
District 6

M. Cindy Wilson  
District 7

Kimberly A. Poulin  
Clerk to Council

Rusty Burns  
County Administrator



Accredited by the  
American Public  
Works Association

**SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION  
Encroachment Permit**

Permit No : 201499

Permit Decision Date :  
3/29/2017

Expiration Date : 3/29/2018

Type

Permit : DRIVEWAY -  
COMMERCIAL

Location:

<u>District</u>	<u>Work County</u>	<u>Type</u>	<u>Route</u>	<u>Aux</u>	<u>Begin MP</u>	<u>End MP</u>
2	Anderson, SC	S-	715	None	0.284	0.311

Contact Information

Applicant: Gary Alexander Generostee Weems Mitigation

Phone:

Contact: Gary Alexander

Address: 539A Smith Dairy Rd.,

City: Westminster

State: SC

Zip: 29693

Comments

Located on southwest shoulder of S-4-715, approx. 1500' northeast from intersection of SC 181.

Special

Provisions:

0004 - SCDOT SHALL BE NOTIFIED WHEN WORK DEFINED IN THE PERMIT STARTS AS WELL AS WHEN THE WORK IS COMPLETED. REFERENCE SHALL BE MADE BY PERMIT NUMBER.

0005 - APPLICANT SHALL PROVIDE TO THE DEPARTMENT THE OPPORTUNITY OF ATTENDING ANY PRE-CONSTRUCTION MEETING PRIOR TO THE BEGINNING OF WORK.

0301 - THE DITCHES AND/OR SHOULDERS DISTURBED DURING THE INSTALLATION SHALL BE RE-ESTABLISHED TO PROPER GRADE, ORIGINAL CROSS SECTION, STABILIZED, AND ALL DRAIN PIPES CLEARED.

0302 - NO EXCAVATION SHALL BE LEFT OPEN ALONG HIGHWAY.

0306 - TRAFFIC CONTROL, LIGHTS, SIGNS AND FLAG-MEN WILL BE FURNISHED BY APPLICANT AND WILL CONFORM TO PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

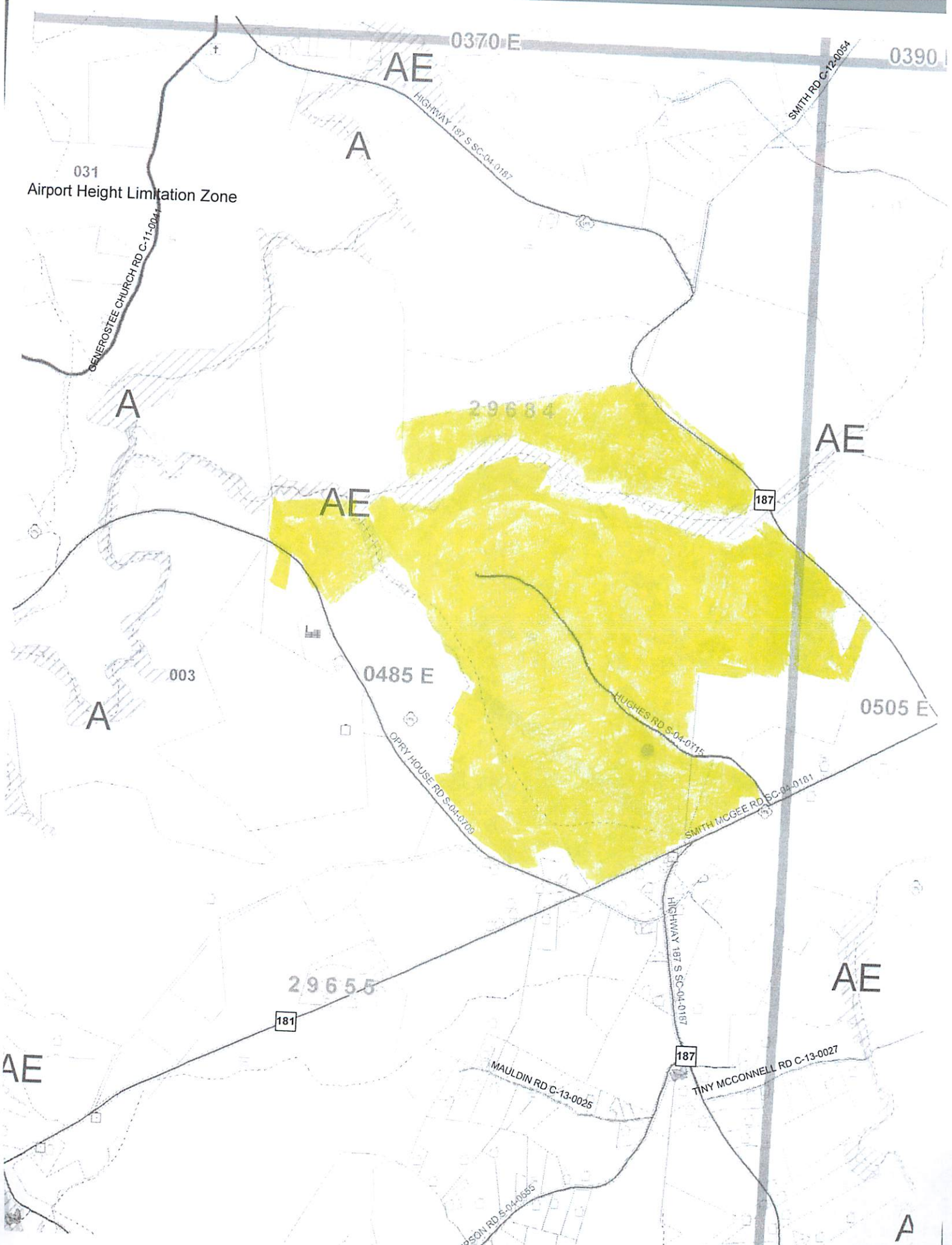
0310 - FIELD CHANGES, IF NECESSARY, MUST BE APPROVED IN WRITING BEFORE ACTUAL CONSTRUCTION OF PROPOSED CHANGES.

0311 - SEDIMENT AND EROSION CONTROL DEVICES SHALL BE USED TO MINIMIZE THE MOVEMENT OF SEDIMENT.

0312 - THE PERMITTEE SHALL HOLD THE DEPARTMENT HARMLESS FOR DAMAGES TO BOTH UPSTREAM AND DOWNSTREAM PROPERTIES.

0318 - THE APPLICANT SHALL BE RESPONSIBLE FOR IMMEDIATE REMOVAL OF SUCH TRAFFIC HAZARDS AS MUD, DEBRIS, LOOSE STONE, AND TRASH AS MAY BE WASHED OR SPILLED ON THE TRAVELED ROADWAY AS A RESULT OF THE PROPOSED WORK.

0320 - ALL DEBRIS TO BE CLEARED FROM THE RIGHTS-OF-WAY WITHIN TEN (10) DAYS.



031  
Airport Height Limitation Zone

AE

A

0370 E

0390

SMITH RD C-12-0084

HIGHWAY 187 S SC-04-0187

GENEROSTEE CHURCH RD C-11-0044

A

29684

AE

AE

187

003

0485 E

0505 E

A

HUGHES RD S-04-0115

OPRY HOUSE RD S-04-0108

SMITH MCGEE RD SC-04-0181

29655

181

AE

AE

HIGHWAY 187 S SC-04-0187

187

TINY MCCONNELL RD C-13-0027

MAULDIN RD C-13-0025

PERSON RD S-04-0685

A