

	Median Listing Price, June 2021	Vs. May 2021	Vs. June 2020
Anderson	\$263,782	5.6%	4.1%
Greenville	\$345,400	2.4%	15.0%
Spartanburg	\$272,043	6.0%	9.2%

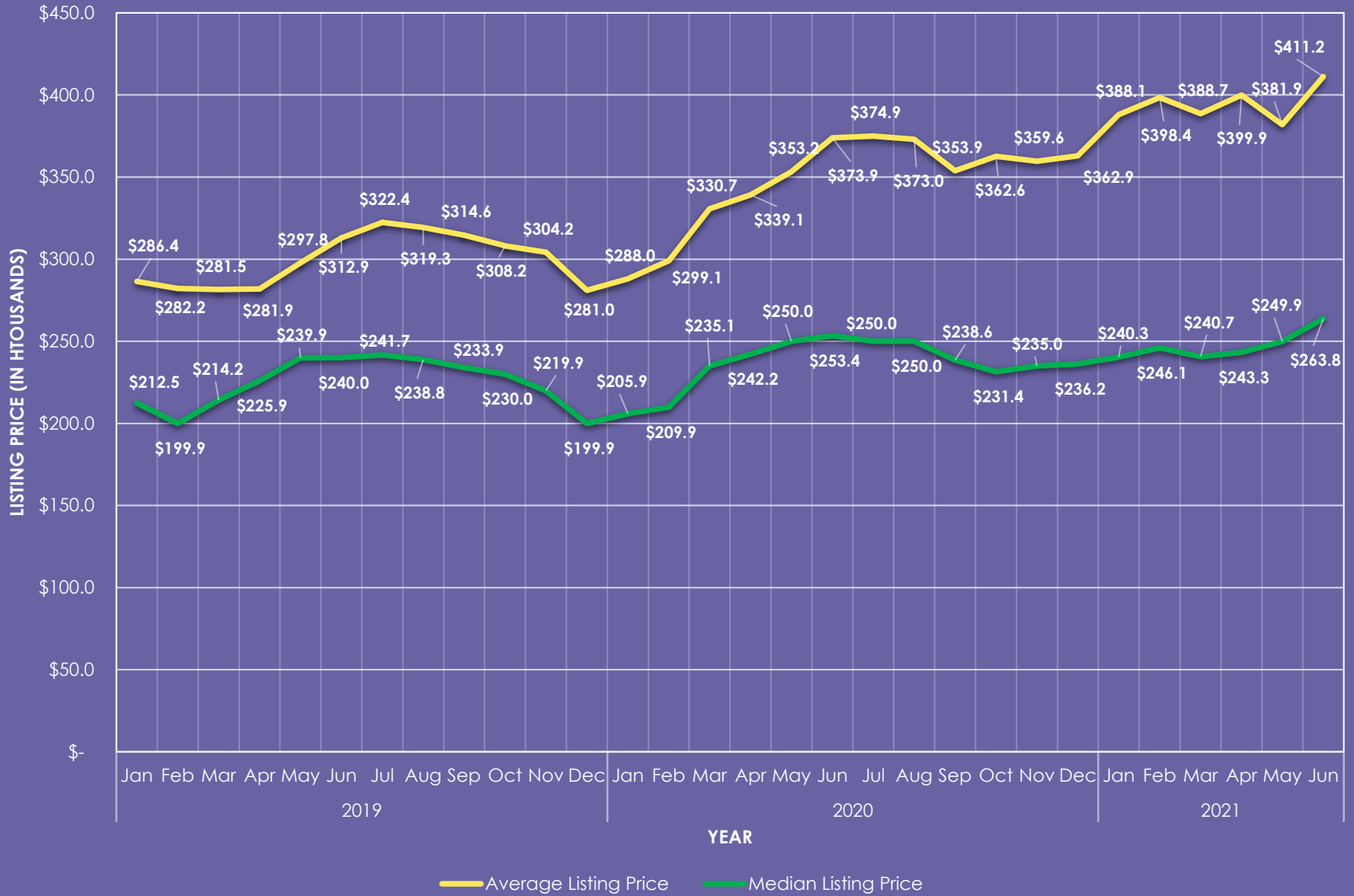
	Average Listing Price, June 2021	Vs. May 2021	Vs. June 2020
Anderson	\$411,196	7.7%	10.0%
Greenville	\$517,547	3.0%	20.0%
Spartanburg	\$377,283	0.3%	9.1%

	Median Days on Market, June 2021	Vs. May 2021	Vs. June 2020
Anderson	39.5	-10.2%	-54.6%
Greenville	42.5	-5.6%	-38.0%
Spartanburg	41.0	-4.7%	-41.0%

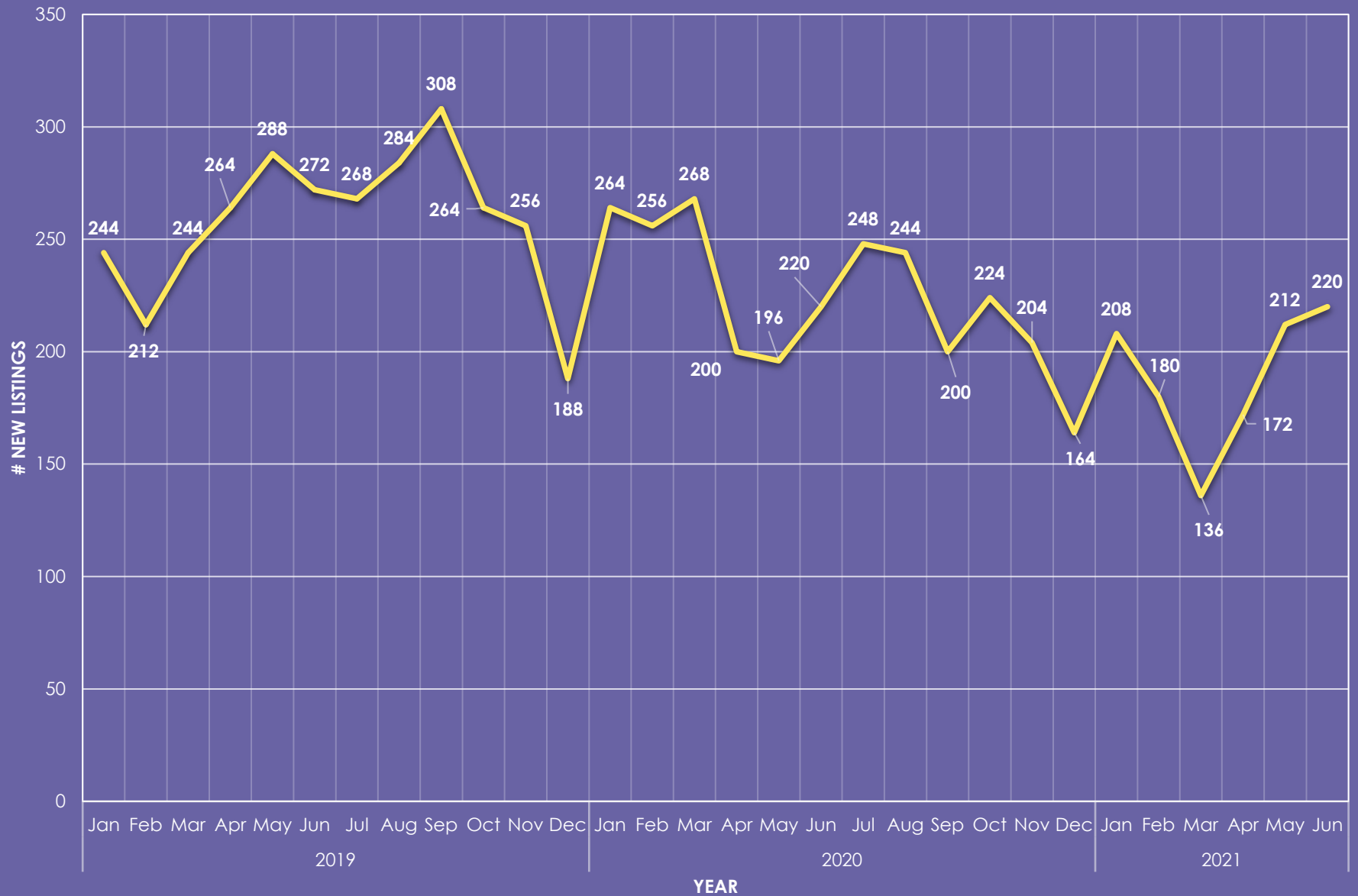
	Total Listing Count, June 2021	Active Listing Count, June 2021	Pending Listing Count, June 2021	Pending-to-Listing Ratio
Anderson	948	245	703	2.87
Greenville	2,634	713	1921	2.69
Spartanburg	2,113	508	1605	3.16

Anderson, SC FY 2021 HUD Metro Median and Fair Market Rental (FMR) Thresholds		
Unit Type	Median Area Rent	HUD FMR
Studio/Efficiency	\$657	\$623
1-Bedroom	\$718	\$680
2-Bedroom	\$891	\$844
3-Bedroom	\$1,152	\$1,092
4-Bedroom	\$1,501	\$1,422

Average and Median Residential Listing Price by Month: January 2019 - June 2021



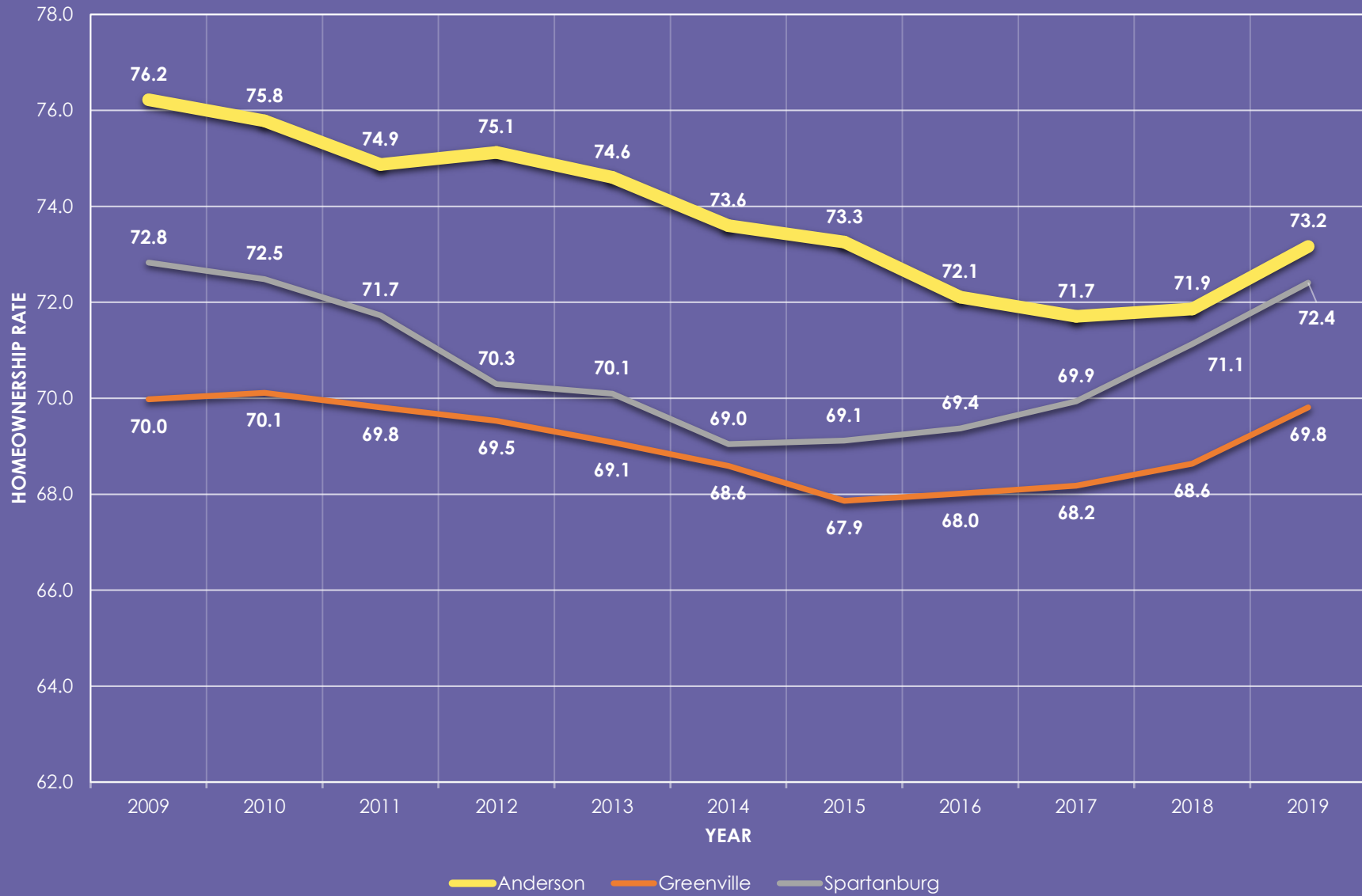
New Residential Listings by Month: January 2019 - June 2021



New Private Housing Structures by Year: 2011-2020



Homeownership Rates; Anderson, Greenville & Spartanburg: 2009 - 2019



Housing Market Hotness Rank by Month; Anderson, Greenville & Spartanburg: January 2019 - June 2021

